

REPLAT NO. 1 OF THE EXHIBIT "B" TO THE MASTER DEED OF

MEADOWBROOK FARMS WEST

PART OF SE 1/4, SEC 7, T6S-R11W

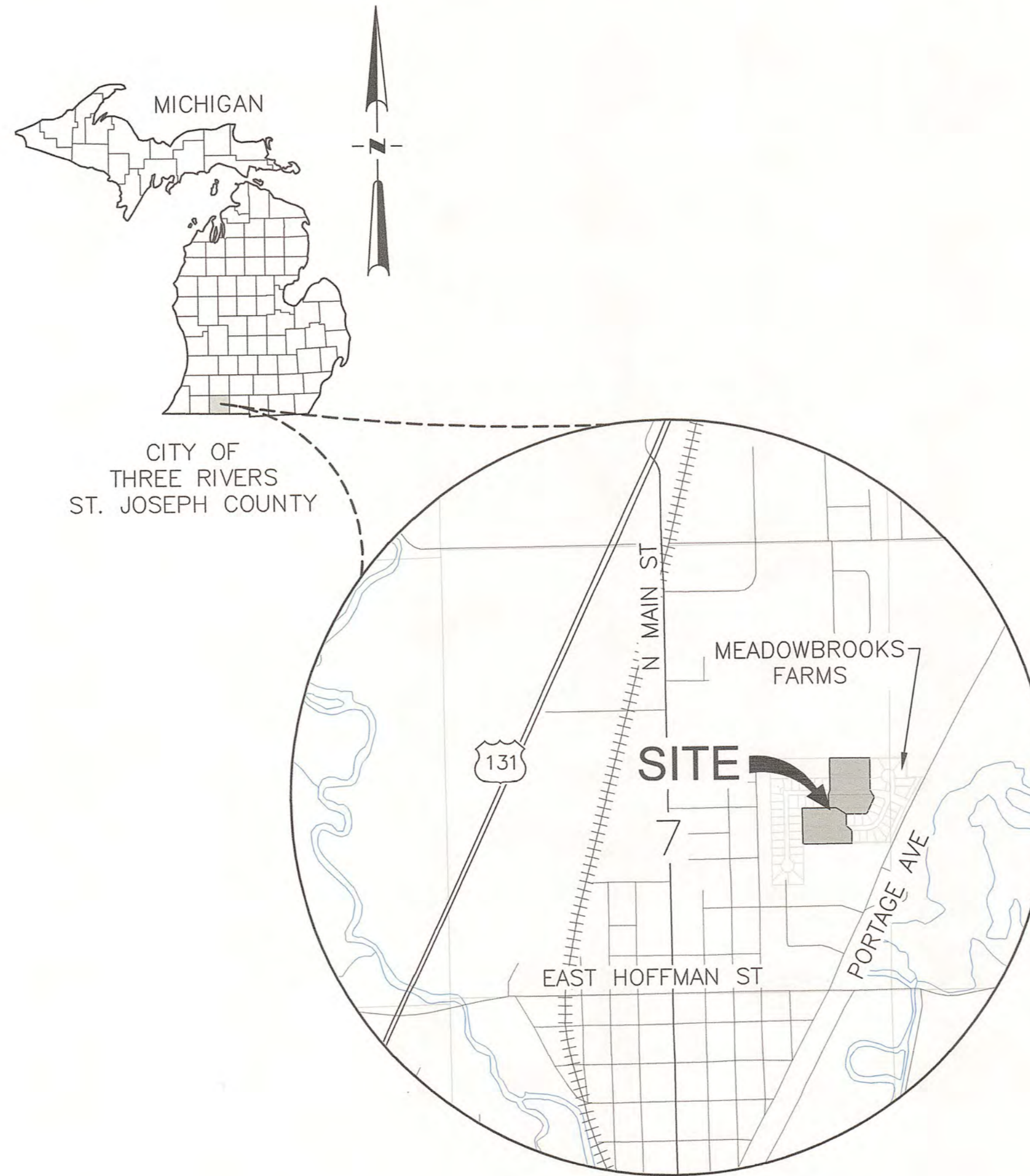
CITY OF THREE RIVERS, ST. JOSEPH COUNTY, MICHIGAN

COUNTY CONDOMINIUM
SUBDIVISION PLAN NO. 33

**LEGAL DESCRIPTION FOR
"MEADOWBROOK FARMS WEST"**

A PARCEL OF LAND SITUATED IN THE SOUTHEAST QUARTER OF SECTION 7, TOWN 6 SOUTH, RANGE 11 WEST, CITY OF THREE RIVERS, ST. JOSEPH COUNTY, MICHIGAN BEING MORE PARTICULARLY DESCRIBED AS FOLLOWS:

COMMENCING AT THE EAST QUARTER CORNER OF SECTION 7, TOWN 6 SOUTH, RANGE 11 WEST; THENCE N. 89°54'35" W. 207.83 FEET ALONG THE NORTH LINE OF THE SOUTHEAST QUARTER OF SAID SECTION 7, SAID NORTH LINE ALSO BEING THE NORTHERLY LINE OF THE "MEADOWBROOK FARMS" CONDOMINIUM ACCORDING TO THE MASTER DEED RECORDED IN LIBER 26, PAGE 1, AS AMENDED, AND DESIGNATED AS ST. JOSEPH COUNTY CONDOMINIUM SUBDIVISION PLAN NO. 26, TOGETHER WITH RIGHTS IN THE GENERAL COMMON ELEMENTS AND THE LIMITED COMMON ELEMENTS AS SHOWN IN THE MASTER DEED AND AS DESCRIBED IN ACT 59 OF THE PUBLIC ACTS OF 1978, AS AMENDED, TO THE NORTHWEST CORNER OF SAID "MEADOWBROOK FARMS" CONDOMINIUM AND THE PLACE OF BEGINNING; THENCE S. 00°00'54" E. 340.35 FEET ALONG THE WESTERLY LINE OF SAID "MEADOWBROOK FARMS" CONDOMINIUM; THENCE S. 27°58'53" E. 90.98 FEET ALONG SAID WESTERLY LINE (PREVIOUSLY RECORDED AS S. 28°14'01" E. 90.24 FEET); THENCE S. 25°07'52" W. 191.21 FEET ALONG SAID WESTERLY LINE; THENCE S. 89°55'07" W. 219.71 FEET ALONG SAID WESTERLY LINE; THENCE S. 00°04'53" E. 120.00 FEET ALONG SAID WESTERLY LINE; THENCE S. 48°35'43" E. 75.48 FEET ALONG SAID WESTERLY LINE; THENCE S. 00°04'53" E. 131.05 FEET ALONG SAID WESTERLY LINE TO THE SOUTHWEST CORNER OF SAID "MEADOWBROOK FARMS" CONDOMINIUM; THENCE S. 89°46'03" W. 512.27 FEET; THENCE N. 00°04'53" W. 371.17 FEET; THENCE S. 89°39'02" E. 274.32 FEET; THENCE N. 00°20'58" E. 140.00 FEET; THENCE N. 20°34'32" E. 53.29 FEET; THENCE N. 00°20'58" E. 338.45 FEET TO SAID NORTH LINE OF THE SOUTHEAST QUARTER OF SECTION 7; THENCE S. 89°54'35" E. 418.00 FEET ALONG SAID NORTH LINE TO THE PLACE OF BEGINNING, CONTAINING 9.66 ACRES OF LAND.

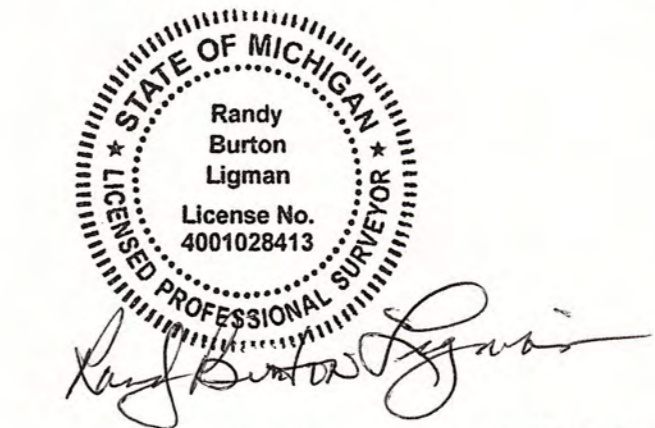


LOCATION MAP

SHEET INDEX	
SHEET 1	COVER SHEET
SHEET 2	SURVEY PLAN
SHEET 3	SITE PLAN & COORDINATES (UNITS 1-10)
SHEET 3B	SITE PLAN & COORDINATES (UNITS 11-21)
SHEET 4	UTILITY PLAN (UNITS 1-10)
SHEET 4B	UTILITY PLAN (UNITS 11-21)

ATTENTION COUNTY REGISTER OF DEEDS:

- THE CONDOMINIUM SUBDIVISION PLAN NUMBER MUST BE ASSIGNED IN CONSECUTIVE SEQUENCE. WHEN A NUMBER HAS BEEN ASSIGNED TO THIS PROJECT, IT MUST BE PROPERLY SHOWN IN THE TITLE, SHEET 1 AND THE SURVEYOR'S CERTIFICATE, SHEET 2.
- THIS CONDOMINIUM SUBDIVISION PLAN IS NOT REQUIRED TO CONTAIN DETAILED PROJECT DESIGN PLANS PREPARED BY THE APPROPRIATE LICENSED DESIGN PROFESSIONAL. SUCH PROJECT DESIGN PLANS ARE FILED, AS PART OF THE CONSTRUCTION PERMIT APPLICATION, WITH THE ENFORCING AGENCY FOR THE STATE CONSTRUCTION CODE IN THE RELEVANT GOVERNMENTAL SUBDIVISION. THE ENFORCING AGENCY MAY BE LOCAL BUILDING DEPARTMENT OR THE STATE DEPARTMENT OF LICENSING AND REGULATORY AFFAIRS.
- FOR REPLAT NO. 1, SHEETS 1, 2, 3 & 4 WERE REVISED AND SHEETS 3B & 4B WERE ADDED.



AMENDED: 10/28/2022
PROPOSED: 9/16/2021 AS-BUILT: -

SURVEYOR / ENGINEER

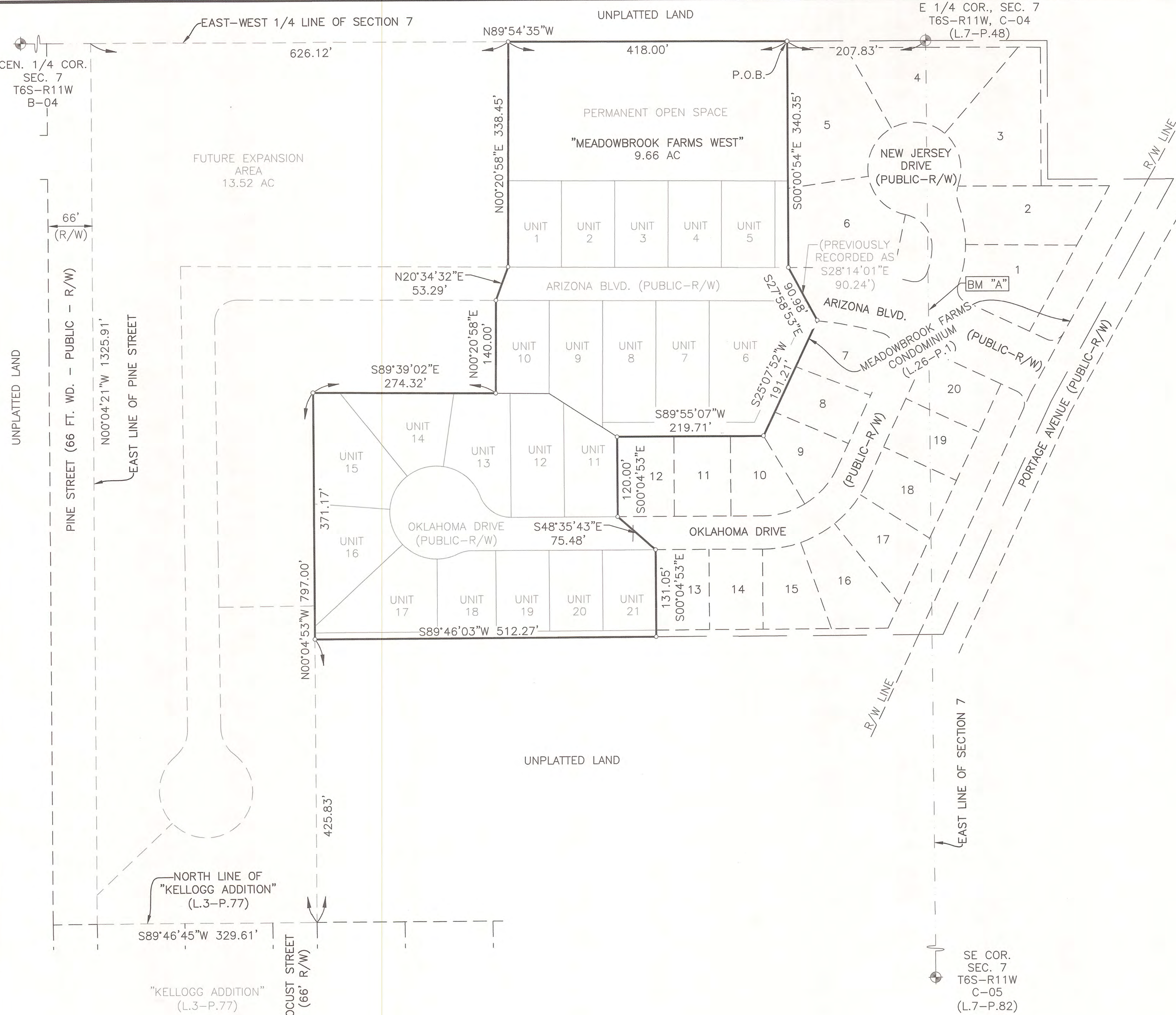


MONUMENT ENGINEERING GROUP ASSOCIATES, INC
INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS
RANDY BURTON LIGMAN
PROFESSIONAL SURVEYOR NO. 4001028413
1209 EAST MILHAM ROAD,
SUITE B,
PORTAGE, MI 49002
PHONE: 269-344-6165

DEVELOPER

WESTVIEW CAPITAL, LLC
A MICHIGAN LIMITED LIABILITY COMPANY
2186 EAST CENTRE STREET
PORTAGE, MICHIGAN 49002

<p>INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS</p> <p>298 VETERANS DRIVE FOWLerville, MICHIGAN 48836 (OFFICE) 517-223-3512</p>	COVER SHEET	
	<p>"MEADOWBROOK FARMS WEST" PART OF THE SE 1/4, SEC. 7, T6S-R11W CITY OF THREE RIVERS, ST. JOSEPH COUNTY, MI.</p> <p>WESTVIEW CAPITAL, LLC 2186 EAST CENTRE STREET PORTAGE, MICHIGAN 49002</p>	
JOB #:	36814	DRAWN: DC CHK: RL
SCALE:	N/A	SHEET: 1
DATE:	9/16/2021	



BENCHMARK

DATUM: NAVD88
 BM A:
 TOP EDGE OF SANITARY
 RIM LOCATED IN CENTER
 OF CROSS INTERSECTIONS
 FOR ARIZONA BOULEVARD,
 OKLAHOMA DRIVE & NEW
 JERSEY DRIVE.
 ELEV: 822.26



LEGEND

- SECTION LINE, SECTION CORNER
- FMON, FIR-FIP, SIR, SMAG

NOTE

- 1) SEE EASEMENTS ON SHEET 3, 3B, 4 AND/OR 4B.
- 2) THE BEARINGS & DISTANCES AS SHOWN ON THIS SHEET HAVE BEEN ADJUSTED TO MATCH THE DATUM FROM THE "MEADOWBROOKS FARMS" CONDOMINIUM PLANS FROM 2005.

CERTIFICATION

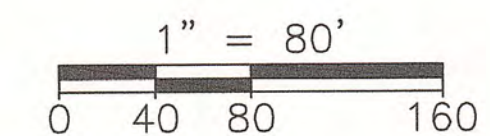
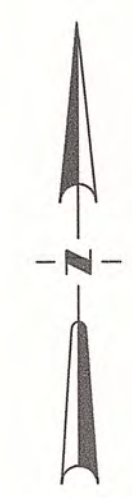
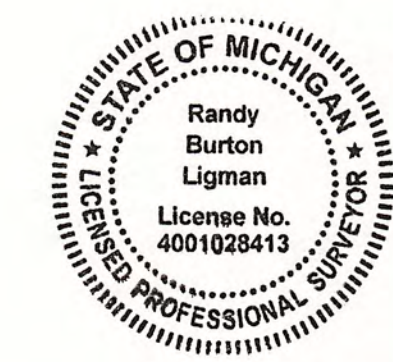
I, RANDY BURTON LIGMAN, Professional Land Surveyor in the State of Michigan, hereby certify:
 That the subdivision plan known as "MEADOWBROOK FARMS WEST" SITE CONDOMINIUM, ST. JOSEPH County Condominium Plan No. 33, as shown on the accompanying drawings, represents a survey on the ground made under my direction and that there are no existing encroachments upon the lands and property herein described. That the required monuments and iron markers have been located in the ground or will be placed by 11/01/2023 as required by rules promulgated under Section 142 of Act No. 59 of the Public Acts of 1978. That the accuracy of this survey is within the limits required by the rules promulgated under Section 142 of Act No. 59 of the Public Acts of 1978. That the bearings, as shown, are noted on survey plan as required by the rules promulgated under Section 142 of Act No. 59 of the Public Acts of 1978.

Signature: *Randy Burton Ligman* Date: 11-18-2022
 Professional Land Surveyor No. 4001028413

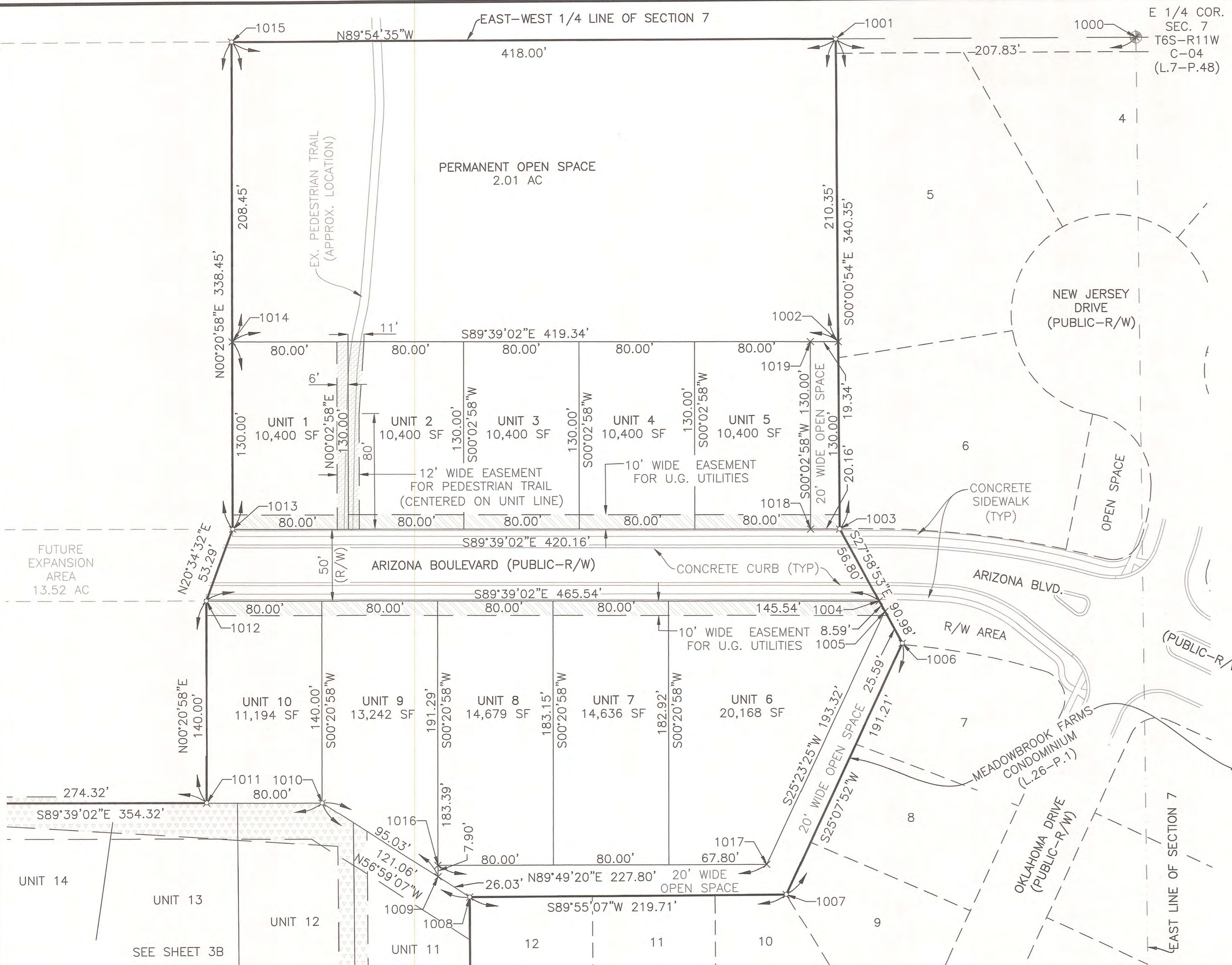
Printed: Randy Burton Ligman
 Professional Land Surveyor No. 4001028413

Monument Engineering Group Associates Inc.
 1209 East Milham Road, Suite B, Portage, MI 49002

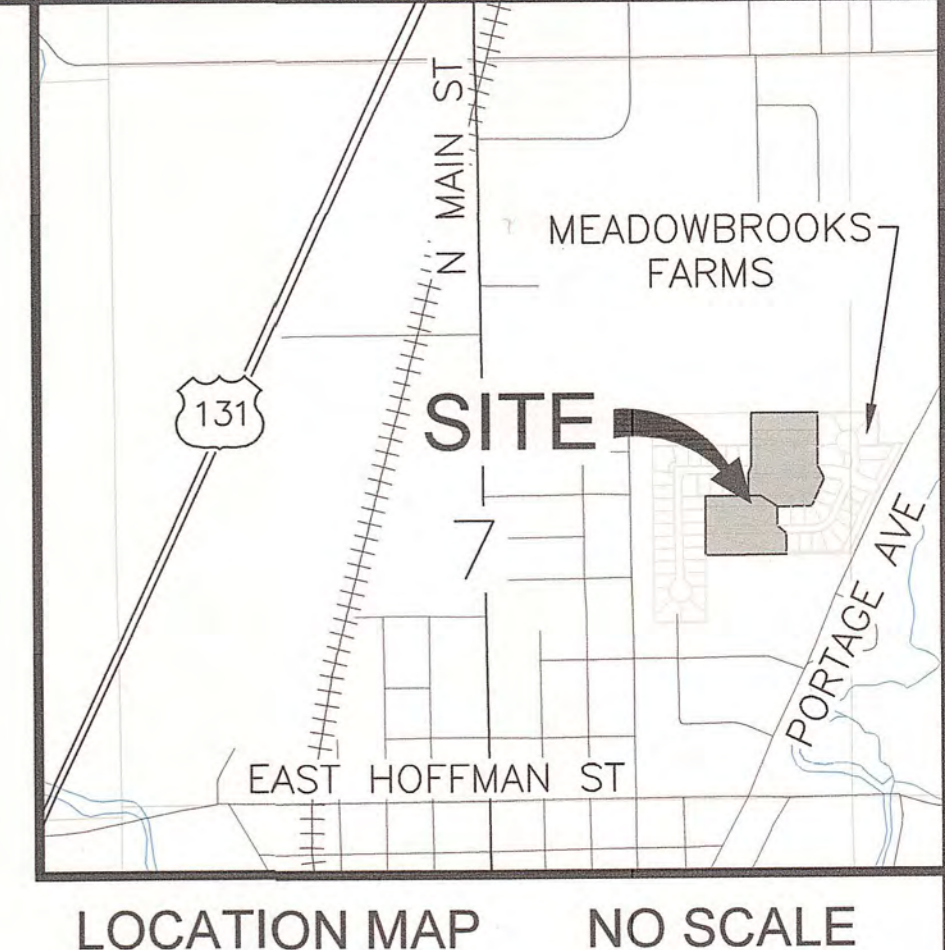
AMENDED: 10/28/2022
 PROPOSED: 9/16/2021 AS-BUILT: -



INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS Monument Engineering Group Associates, Inc. 298 VETERANS DRIVE FOWLerville, MICHIGAN 48836 (OFFICE) 517-223-3512	
SURVEY PLAN	
"MEADOWBROOK FARMS WEST" PART OF THE SE 1/4, SEC. 7, T6S-R11W CITY OF THREE RIVERS, ST. JOSEPH COUNTY, MI.	
WESTVIEW CAPITAL, LLC 2186 EAST CENTRE STREET PORTAGE, MICHIGAN 49002	
JOB #: 36814	DRAWN: DC CHK: RL
SCALE: 1" = 80'	SHEET: 2
DATE: 9/16/2021	



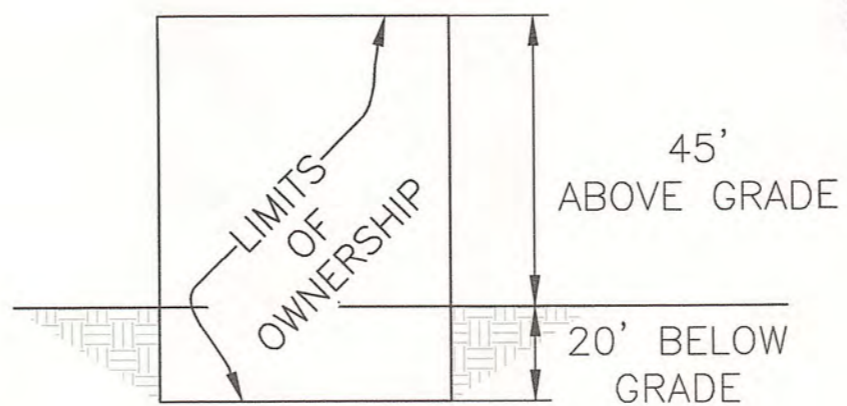
COORDINATE LIST		
NO.	NORTHING	EASTING
1000	2323.94	2250.30
1001	2324.27	2042.47
1002	2113.92	2042.53
1003	1983.92	2042.56
1004	1933.75	2069.21
1005	1926.17	2073.24
1006	1903.57	2085.25
1007	1730.46	2004.04
1008	1730.15	1784.33
1009	1744.33	1762.51
1010	1796.11	1682.82
1011	1796.60	1602.82
1012	1936.59	1603.68
1013	1986.48	1622.40
1014	2116.48	1623.20
1015	2324.93	1624.47
1016	1752.23	1762.56
1017	1751.52	1990.39
1018	1984.04	2022.40
1019	2114.04	2023.19



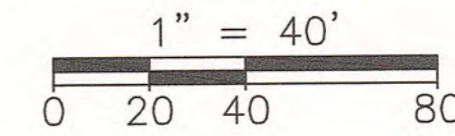
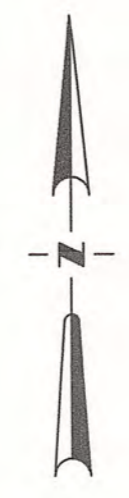
LEGEND

- SECTION LINE, SECTION CORNER
- FMON, FIR-FIP, SIR, SMAG
- GENERAL COMMON AREA
- 12' WD PEDESTRIAN EASEMENT
- 10' WD EASEMENT FOR U.G. UTILITIES & WM
- PRIVATE STORM SEWER EASEMENT
- 20' WD PRIVATE WATER MAIN EASEMENT
- 25' WD PRIVATE SANITARY SEWER EASE.
- 25' WD GRADING & DRAINAGE EASEMENT
- SF, AC SQUARE FEET, ACRES

- NOTES**
- 1) ALSO SEE EASEMENTS ON SHEET 4.
 - 2) STREETS WITHIN THE CONDOMINIUM PROJECT ARE PAVED ROADWAYS WITH CONCRETE CURBS AND MUST BE BUILT.
 - 3) PROPOSED CONCRETE SIDEWALKS AND PAVED TRAILS MUST BE BUILT.
 - 4) THE IMPROVEMENTS SHOWN ARE BASED ON CONSTRUCTION PLANS DEVELOPED BY INGERSOLL, WATSON & MCMACHEN, INC.
 - 5) THE COORDINATES SHOWN ARE BASED ON A VALUE OF 2323.9394 NORTH AND 2250.2975 EAST ON THE EAST 1/4 CORNER OF SECTION 7, TOWN 6 SOUTH, RANGE 11 WEST.
 - 6) ANY EASEMENTS LOCATED WITHIN THE STREETS (SHOWN AS PUBLIC RIGHT-OF-WAY AREA) ARE NOT SHOWN HEREON.
 - 7) ADDITIONAL EASEMENTS MAY ENCUMBER PROPERTY.
 - 8) THE BEARINGS & DISTANCES FOR UNITS 1-10 AS SHOWN ON THIS SHEET HAVE BEEN ADJUSTED TO MATCH THE DATUM FROM THE "MEADOWBROOK FARMS" CONDOMINIUM PLANS FROM 2005.



TYPICAL UNIT SECTION
NO SCALE



AMENDED: 10/28/2022
 PROPOSED: 9/16/2021
 AS-BUILT: -

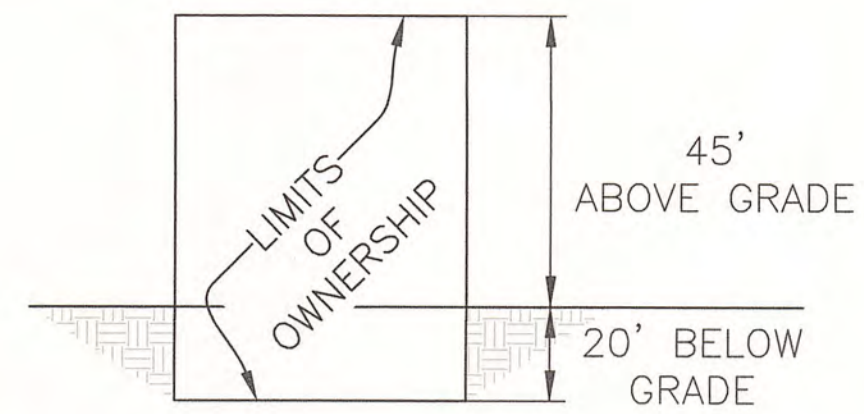
INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS
MEGA Associates, Inc.
 298 VETERANS DRIVE
 FOWLERVILLE,
 MICHIGAN 48836
 (OFFICE) 517-223-3512

SITE PLAN (UNITS 1 - 10)
 "MEADOWBROOK FARMS WEST"
 PART OF THE SE 1/4, SEC. 7, T6S-R11W
 CITY OF THREE RIVERS, ST. JOSEPH COUNTY, MI.
 WESTVIEW CAPITAL, LLC
 2186 EAST CENTRE STREET
 PORTAGE, MICHIGAN 49002

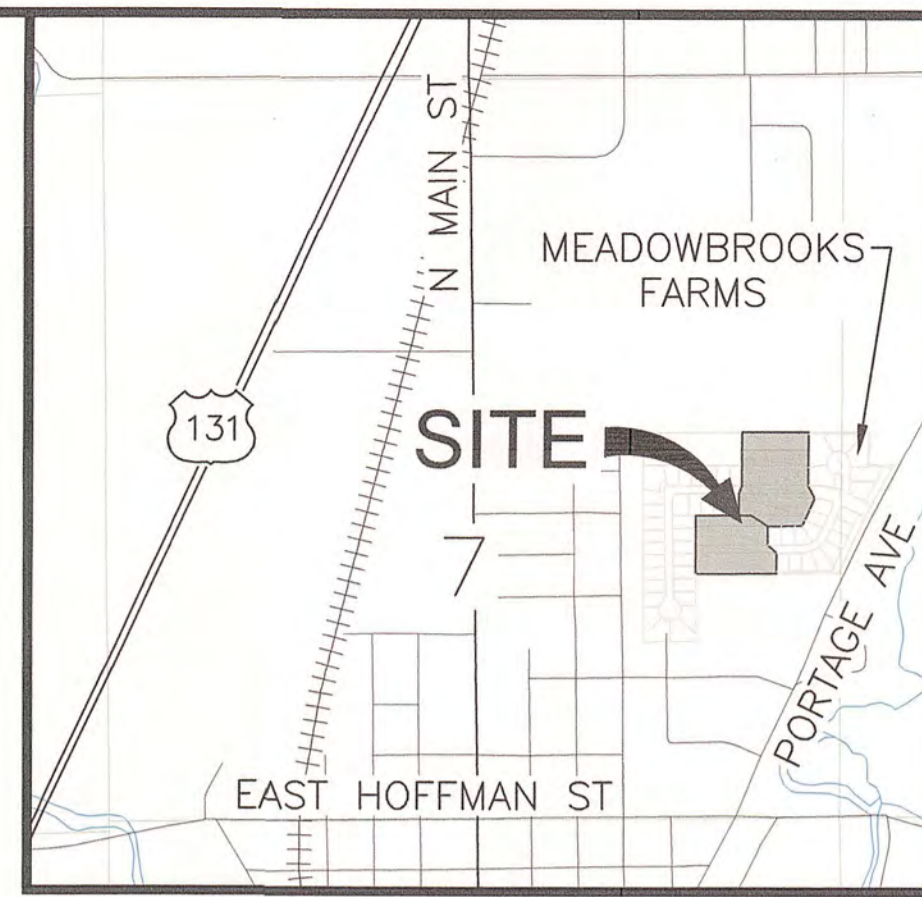
JOB #: 36814	DRAWN: DC	CHK: PF
SCALE: 1" = 40'	SHEET: 3	
DATE: 9/16/2021		

25' WIDE EASEMENT TO THE "MEADOWBROOKS FARMS WEST" CONDOMINIUM ASSOCIATION FOR GRADING & DRAINAGE PURPOSES

PRIVATE EASEMENT FOR STORM SEWER
S89°39'02"E 274.32'



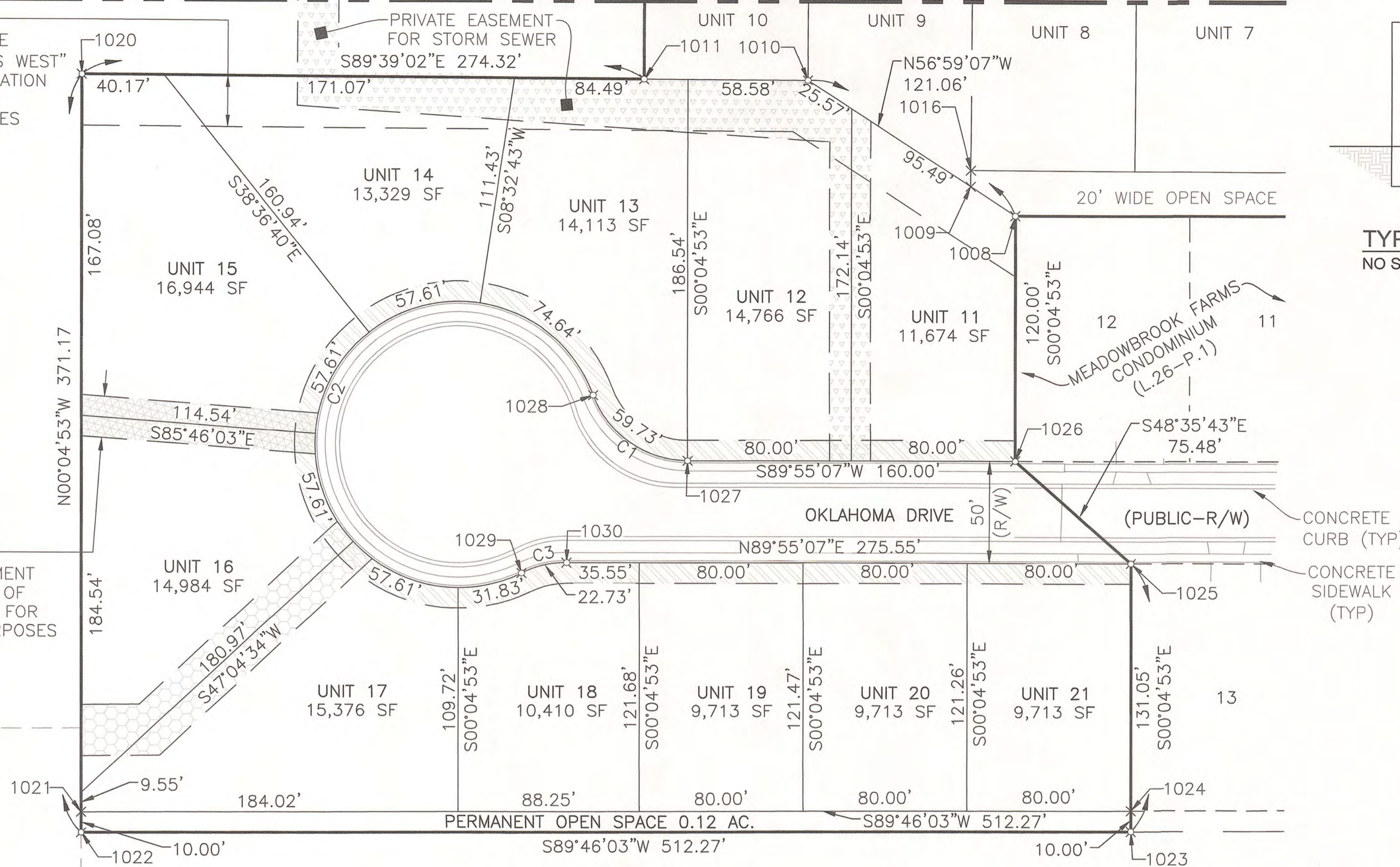
TYPICAL UNIT SECTION
NO SCALE



LOCATION MAP NO SCALE

FUTURE EXPANSION AREA
13.52 AC

20' WIDE PRIVATE EASEMENT TO THE CITY OF THREE RIVERS FOR WATER MAIN PURPOSES



LEGEND

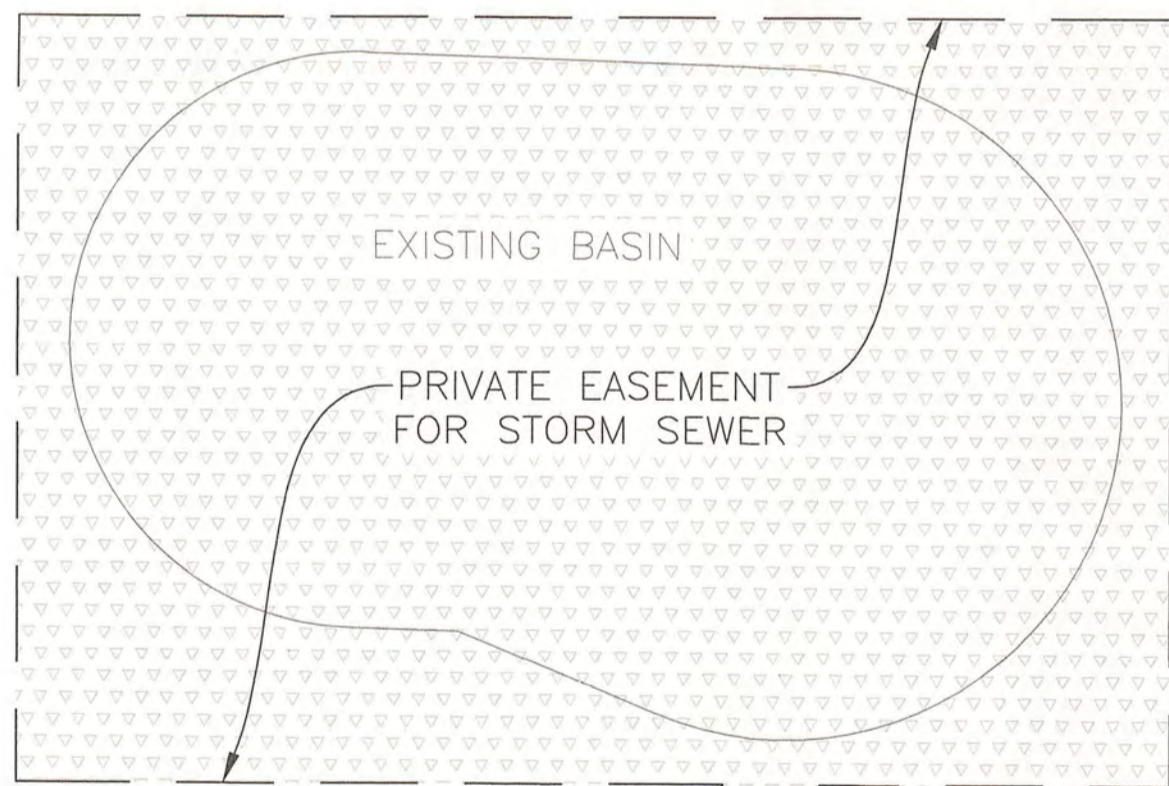
- SECTION LINE, SECTION CORNER
- ○ ○ ○ FMON, FIR-FIP, SIR, SMAG
- GENERAL COMMON AREA
- ▨ 12' WD PEDESTRIAN EASEMENT
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- 20' WD PRIVATE WATER MAIN EASEMENT
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NOTES

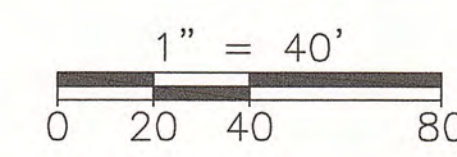
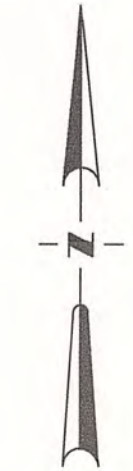
- 1) ALSO SEE EASEMENTS ON SHEET 4B.
- 2) STREETS WITHIN THE CONDOMINIUM PROJECT ARE PAVED ROADWAYS WITH CONCRETE CURBS AND MUST BE BUILT.
- 3) PROPOSED CONCRETE SIDEWALKS AND PAVED TRAILS MUST BE BUILT.
- 4) THE IMPROVEMENTS SHOWN ARE BASED ON CONSTRUCTION PLANS DEVELOPED BY: MONUMENT ENGINEERING GROUP ASSOCIATES, INC.
- 5) THE COORDINATES SHOWN ARE BASED ON A VALUE OF 2323.9394 NORTH AND 2250.2975 EAST ON THE EAST 1/4 CORNER OF SECTION 7, TOWN 6 SOUTH, RANGE 11 WEST.
- 6) ANY EASEMENTS LOCATED WITHIN THE STREETS (SHOWN AS PUBLIC RIGHT-OF-WAY AREA) ARE NOT SHOWN HEREON.
- 7) ADDITIONAL EASEMENTS MAY ENCUMBER PROPERTY.
- 8) RECORDING OF SHOWN EASEMENTS ARE PENDING.

COORDINATE LIST		
NO.	NORTHING	EASTING
1020	1798.27	1328.51
1021	1437.10	1329.02
1022	1427.10	1329.04
1023	1429.18	1841.30
1024	1439.18	1841.29
1025	1560.23	1841.12
1026	1610.15	1784.50
1027	1609.92	1624.50
1028	1641.93	1578.41
1029	1554.73	1543.62
1030	1559.84	1565.57

OKLAHOMA CURVE TABLE				
CURVE #	LENGTH	RADIUS	DELTA	CHORD
C1	59.73'	49.09'	69°43'02"	N55°13'22"W 56.12'
C2	336.92'	70.00'	275°46'08"	S21°45'04"W 93.89'
C3	22.73'	50.00'	26°03'06"	N76°53'34"E 22.54'



PRIVATE EASEMENT FOR STORM SEWER



PROPOSED: 10/28/2022 AS-BUILT: --

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

MEGA
Monument Engineering Group Associates, Inc.

298 VETERANS DRIVE
FOWLerville, MICHIGAN 48836
(OFFICE) 517-223-3512

SITE PLAN (UNITS 11 - 21)

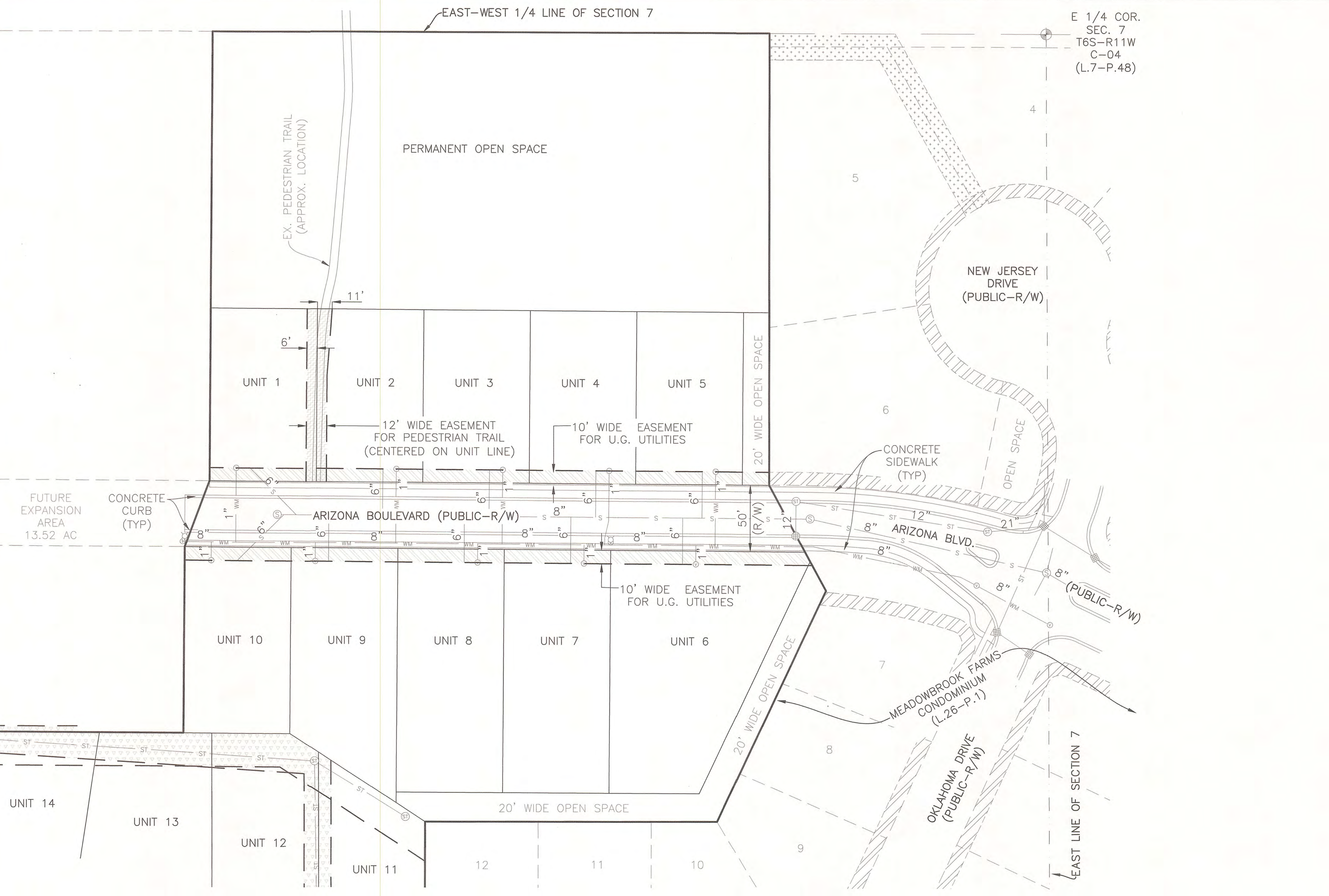
"MEADOWBROOK FARMS WEST"
PART OF THE SE 1/4, SEC. 7, T6S-R11W
CITY OF THREE RIVERS, ST. JOSEPH COUNTY, MI.

WESTVIEW CAPITAL, LLC
2186 EAST CENTRE STREET
PORTAGE, MICHIGAN 49002

JOB #: 36814	DRAWN: DC CHK: PF
SCALE: 1" = 40'	SHEET: 3B
DATE: 10/28/2022	



LOCATION MAP NO SCALE



E 1/4 COR.
SEC. 7
T6S-R11W
C-04
(L.7-P.48)

LEGEND

- SECTION LINE, SECTION CORNER
- ○ ◊ FMON, FIR-FIP, SIR, SMAG
- GENERAL COMMON AREA
- ▨ 12' WD PEDESTRIAN EASEMENT
- ▩ 10' WD EASEMENT FOR U.G. UTILITIES & WM
- ▧ PRIVATE STORM SEWER EASEMENT
- ▦ 20' WD PRIVATE WATER MAIN EASEMENT
- ▥ 25' WD PRIVATE SANITARY SEWER EASE.
- ▤ 25' WD GRADING & DRAINAGE EASEMENT
- SF, AC SQUARE FEET, ACRES

NOTES

- 1) ALSO SEE EASEMENTS ON SHEET 3.
- 2) STREETS WITHIN THE CONDOMINIUM PROJECT ARE PAVED ROADWAYS WITH CONCRETE CURBS AND MUST BE BUILT.
- 3) PROPOSED CONCRETE SIDEWALKS AND PAVED TRAILS MUST BE BUILT.
- 4) THE IMPROVEMENTS SHOWN ARE BASED ON CONSTRUCTION PLANS DEVELOPED BY INGERSOLL, WATSON & MCMACHEN, INC.
- 5) ANY EASEMENTS LOCATED WITHIN THE STREETS (SHOWN AS PUBLIC RIGHT-OF-WAY AREA) ARE NOT SHOWN HEREON.
- 6) NATURAL GAS, ELECTRIC, PHONE, AND TV LINES HAVE NOT BEEN SHOWN.
- 7) ADDITIONAL EASEMENTS MAY ENCUMBER PROPERTY.

UTILITY NOTES

WATER MAINS: 8" DIAMETER
 WATER SERVICES (TO EACH UNIT): 1" DIAMETER
 SANITARY SEWER MAINS: 8" DIAMETER
 SANITARY SEWER SERVICES (TO EACH UNIT): 6" DIAMETER
 STORM SEWER PIPE: VARIES

* SANITARY SEWER SERVICES MIGHT BE LESS THAN 6" DIAMETER OUTSIDE OF ROAD RIGHT-OF-WAY AREA.
 * WATER SERVICES MIGHT BE LESS THAN 1" DIAMETER OUTSIDE OF ROAD RIGHT-OF-WAY AREA.

AMENDED: 10/28/2022
 PROPOSED: 9/16/2021 AS-BUILT: -

UTILITY LEGEND

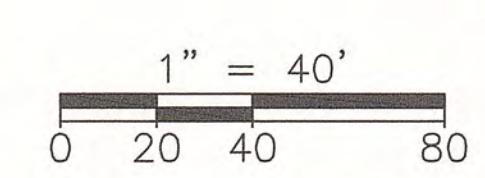
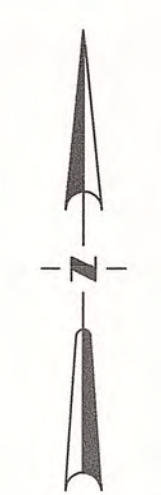
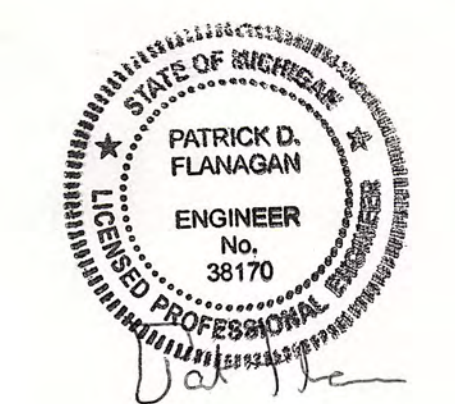
- EXISTING**
- WM WATER MAIN, MH, VALVE IN BOX, HYDRANT WELL, METER, SHUT OFF, POST INDICATOR VALVE
 - ST STORM SEWER, MH, CB, INLET, YARD DRAIN CULVERT/ END SECTION
 - S SANITARY SEWER, MH, CLEAN OUT
 - GAS UG GAS, MH, VALVE, LINE MARKER
 - UG-ELEC UG ELEC (ELEC, CABLE, FIBER)
 - EASEMENTS

UTILITY OWNERS

- SANITARY SEWER - CITY OF THREE RIVERS
- WATER MAIN - CITY OF THREE RIVERS
- STORM SEWER - CITY OF THREE RIVERS (WITHIN ROAD R.O.W.)
- STORM SEWER - CONDOMINIUM ASSOCIATION (OUTSIDE ROAD R.O.W.)
- STORM WATER BASIN - CONDOMINIUM ASSOCIATION
- NATURAL GAS - SEMCO GAS
- ELECTRIC - AEP ELECTRIC
- TELEPHONE - A.T.&T.
- CABLE TELEVISION - COMCAST

*NOTE THAT INDIVIDUAL UTILITY SERVICES TO EACH DWELLING ARE OWNED BY THE OWNER OF THE UNIT UNLESS THE UTILITY COMPANY DICTATES OTHERWISE.

*NOTE THAT INSTALLATION OF NATURAL GAS, ELECTRIC, TELEPHONE AND CABLE TELEVISION LINES MAY BE PENDING.



INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS

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Engineering Group Associates, Inc.

298 VETERANS DRIVE
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UTILITY PLAN
(UNITS 1 - 10)

"MEADOWBROOK FARMS WEST"
PART OF THE SE 1/4, SEC. 7, T6S-R11W
CITY OF THREE RIVERS, ST. JOSEPH COUNTY, MI.

WESTVIEW CAPITAL, LLC
2186 EAST CENTRE STREET
PORTAGE, MICHIGAN 49002

JOB #: 36814	DRAWN: DC CHK: PF
SCALE: 1" = 40'	SHEET: 4
DATE: 9/16/2021	

UTILITY OWNERS

SANITARY SEWER - CITY OF THREE RIVERS
 WATER MAIN - CITY OF THREE RIVERS
 STORM SEWER - CITY OF THREE RIVERS (WITHIN ROAD R.O.W.)
 STORM SEWER - CONDOMINIUM ASSOCIATION (OUTSIDE ROAD R.O.W.)
 STORM WATER BASIN - CONDOMINIUM ASSOCIATION
 NATURAL GAS - SEMCO GAS
 ELECTRIC - AEP ELECTRIC
 TELEPHONE - A.T.&T.
 CABLE TELEVISION - COMCAST

*NOTE THAT INDIVIDUAL UTILITY SERVICES TO EACH DWELLING ARE OWNED BY THE OWNER OF THE UNIT UNLESS THE UTILITY COMPANY DICTATES OTHERWISE.

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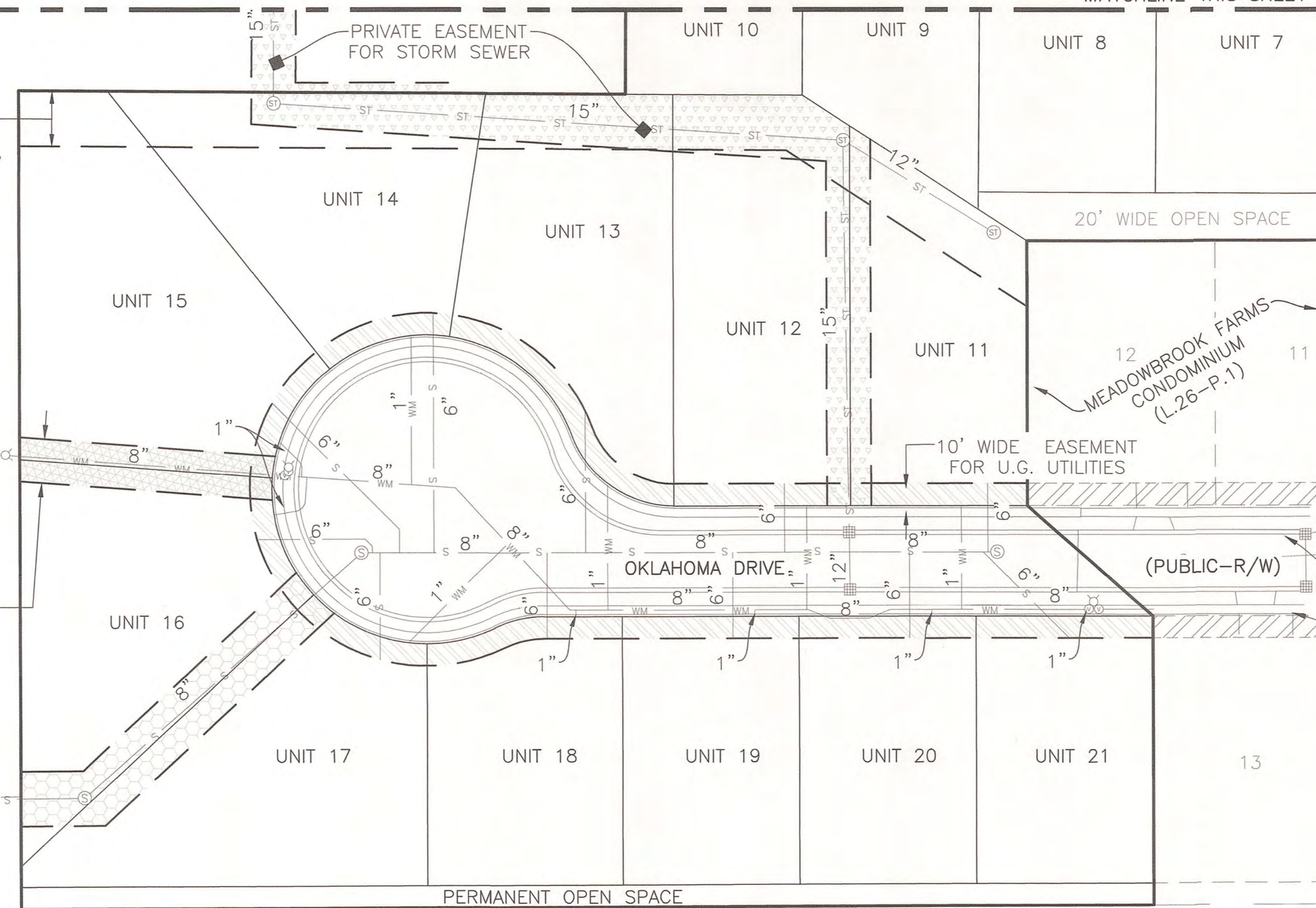


LOCATION MAP NO SCALE

25' WIDE EASEMENT TO THE "MEADOWBROOKS FARMS WEST" CONDOMINIUM ASSOCIATION FOR GRADING & DRAINAGE PURPOSES

FUTURE EXPANSION AREA 13.52 AC

20' WIDE PRIVATE EASEMENT TO THE CITY OF THREE RIVERS FOR WATER MAIN PURPOSES



LEGEND

- SECTION LINE, SECTION CORNER
- ○ ◊ ◻ FMON, FIR-FIP, SIR, SMAG
- GENERAL COMMON AREA
- ▨ 12' WD PEDESTRIAN EASEMENT
- ▩ 10' WD EASEMENT FOR U.G. UTILITIES & WM
- ▧ PRIVATE STORM SEWER EASEMENT
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- SF, AC SQUARE FEET, ACRES

NOTES

- 1) ALSO SEE EASEMENTS ON SHEET 3B.
- 2) STREETS WITHIN THE CONDOMINIUM PROJECT ARE PAVED ROADWAYS WITH CONCRETE CURBS AND MUST BE BUILT.
- 3) PROPOSED CONCRETE SIDEWALKS AND PAVED TRAILS MUST BE BUILT.
- 4) THE IMPROVEMENTS SHOWN ARE BASED ON CONSTRUCTION PLANS DEVELOPED BY: MONUMENT ENGINEERING GROUP ASSOCIATES INC.
- 5) ANY EASEMENTS LOCATED WITHIN THE STREETS (SHOWN AS PUBLIC RIGHT-OF-WAY AREA) ARE NOT SHOWN HERE ON.
- 6) NATURAL GAS, ELECTRIC, PHONE, AND TV LINES HAVE NOT BEEN SHOWN.
- 7) ADDITIONAL EASEMENTS MAY ENCUMBER PROPERTY.
- 8) RECORDING OF SHOWN EASEMENTS ARE PENDING.

UTILITY NOTES

WATER MAINS: 8" DIAMETER
 WATER SERVICES (TO EACH UNIT): 1" DIAMETER
 SANITARY SEWER MAINS: 8" DIAMETER
 SANITARY SEWER SERVICES (TO EACH UNIT): 6" DIAMETER
 STORM SEWER PIPE: VARIES

* SANITARY SEWER SERVICES MIGHT BE LESS THAN 6" DIAMETER OUTSIDE OF ROAD RIGHT-OF-WAY AREA.
 * WATER SERVICES MIGHT BE LESS THAN 1" DIAMETER OUTSIDE OF ROAD RIGHT-OF-WAY AREA.

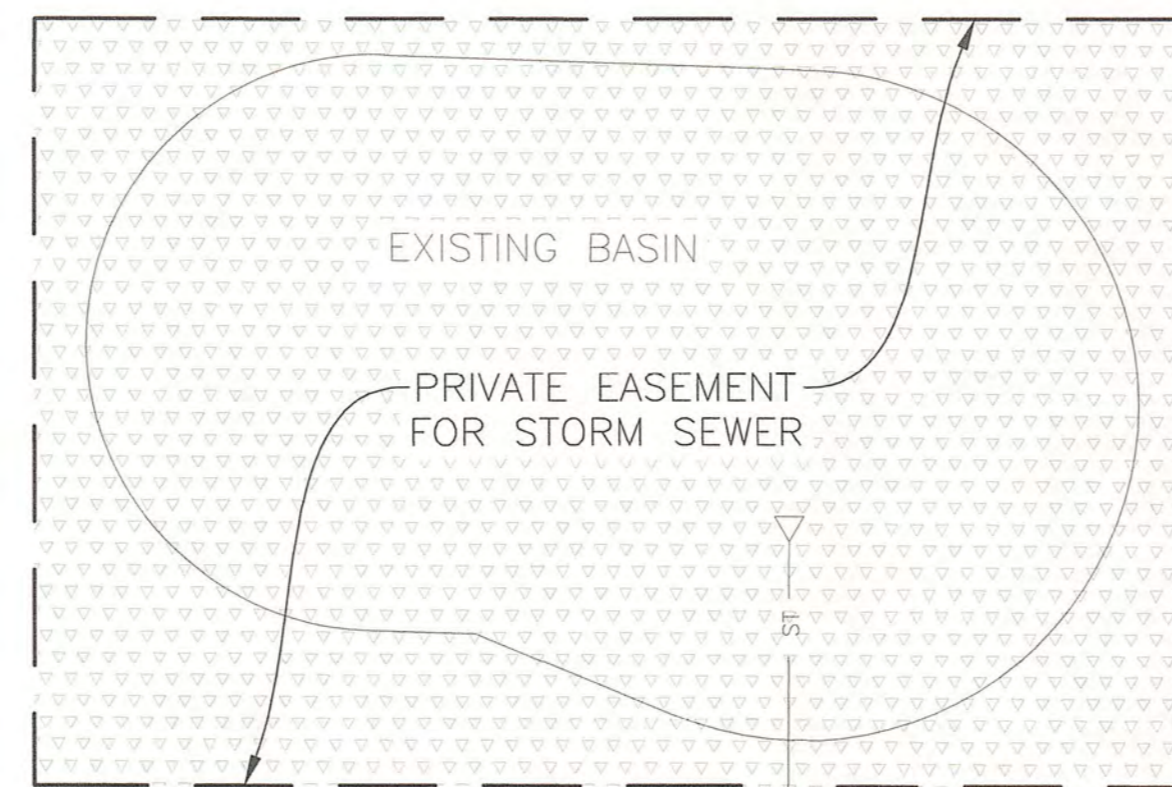
PROPOSED: 10/28/2022

AS-BUILT: --

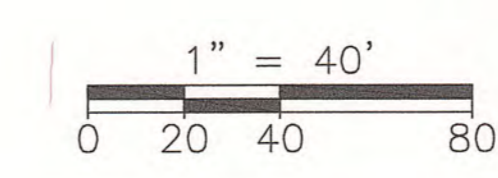
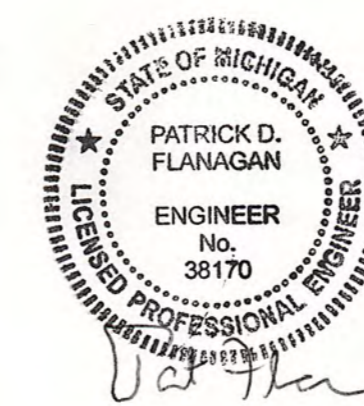
UTILITY LEGEND

EXISTING

- WM WATER MAIN, MH, VALVE IN BOX, HYDRANT WELL, METER, SHUT OFF, POST INDICATOR VALVE
- ST STORM SEWER, MH, CB, INLET, YARD DRAIN CULVERT/ END SECTION
- S SANITARY SEWER, MH, CLEAN OUT
- GAS UG GAS, MH, VALVE, LINE MARKER
- UG-ELEC UG ELEC (ELEC, CABLE, FIBER) EASEMENTS



PRIVATE EASEMENT FOR STORM SEWER



UTILITY PLAN (UNITS 11 - 21)

"MEADOWBROOK FARMS WEST"
 PART OF THE SE 1/4, SEC. 7, T6S-R11W
 CITY OF THREE RIVERS, ST. JOSEPH COUNTY, MI.

WESTVIEW CAPITAL, LLC
 2186 EAST CENTRE STREET
 PORTAGE, MICHIGAN 49002

INNOVATIVE GEOSPATIAL & ENGINEERING SOLUTIONS
 Monument Engineering Group Associates, Inc.
MEGA
 298 VETERANS DRIVE
 FOWLerville, MICHIGAN 48836
 (OFFICE) 517-223-3512

JOB #:	36814	DRAWN:	DC	CHK:	PF
SCALE:	1" = 40'	SHEET:	4B		
DATE:	10/28/2022				