

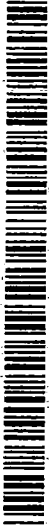


Pattie S. Bender Register of Deeds
STATE OF MICHIGAN St. Joseph County

Recorded
MARCH 05, 2015 12:43:41 PM
Liber 15 Page 002 - 009 CD2

FEE: \$0.00

Liber 15 Page 002C



ATTENTION COUNTY REGISTRAR OF DEEDS
THIS DEED IS A PART OF THE CONDOMINIUM SUBDIVISION PLAN NUMBER
WHICH BEGINS ON PAGES 001-009 OF THIS LIBER. IT IS A PART OF THE
PROJECT. IT MUST BE PROPERLY SHOWN IN THE
TITLE ON THIS SHEET AND IN THE SURVEYORS
CERTIFICATE ON THIS SHEET.

- SHEET INDEX**
- * 1. COVER SHEET
 - * 2. SURVEYOR'S CERTIFICATE
 - * 3. UTILITY PLAN
 - * 4. SITE PLAN
 - * 5. LOWER & FIRST FLOOR PLANS (UNITS 1-13 & 15-29)
 - * 6. CROSS SECTIONS (UNITS 1-13 & 15-29)
 - * 7. LONGITUDINALS & CROSS SECTIONS (UNITS 1-13 & 15-29)
 - * 8. LONGITUDINALS & CROSS SECTIONS (UNIT 14)
 - * 9. REPLACEMENT SHEETS

* RE PLAT NO. 1 REPLACEMENT SHEETS

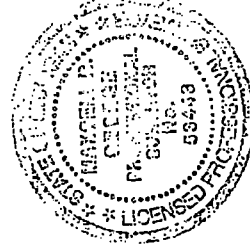
DEVELOPER:
OAKWOOD LAND CORPORATION
112 SOUTH MONROE STREET
STURGIS, MICHIGAN 49081

SURVEYOR:
FELS AND VANDERBRINK
478 CAMPUS DRIVE
KALAMAZOO, MICHIGAN 49003

SURVEYOR'S CERTIFICATE
MAXWELL R. GEORGE, PROFESSIONAL LAND SURVEYOR OF THE STATE OF MICHIGAN
HEREBY CERTIFY THAT THE SUBDIVISION PLAN KNOWN AS ST. JOSEPH COUNTY
CONDOMINIUM SUBDIVISION PLAN NO. 15, AS SHOWN ON THE ACCOMPANYING
CONDOMINIUM SUBDIVISION PLAN, IS ACCURATE AND CORRECTLY SHOWS THE
BOUNDARIES OF THE LANDS AND PROPERTY
HEREIN DESCRIBED.
THAT THERE ARE NO EXISTING ENCROACHMENTS UPON THE LANDS AND PROPERTY
HEREIN DESCRIBED.
THAT THE REQUIRED MONUMENTS AND IRON MARKERS HAVE BEEN LOCATED IN THE
CORNER OF THE LOTS AND ALIEN INTERESTS PROHIBITED UNDER SECTION 142 OF ACT NO. 39
OF THE PUBLIC ACTS OF 1978
THAT THE ACCURACY OF THIS SURVEY IS WITHIN THE LIMITS REQUIRED BY THE RULES
OF THE BOARD OF SURVEYORS AND MAPPING ENGINEERS, INC. THAT THE RECORDS AS SHOWN
AND PLATED ON THE SURVEY PLAN AS REQUIRED BY
THE RULES PROMULGATED UNDER SECTION 142 OF ACT NO. 39 OF THE PUBLIC ACTS OF
1978.

Maxwell R. George 3/3/15
DATE

MAXWELL R. GEORGE, P.S.
REGISTRATION NO. 52443
FELS & VANDERBRINK ENGINEERING, INC.
478 CAMPUS DRIVE
KALAMAZOO, MICHIGAN 49003



REPLAT NO. 1
ST. JOSEPH COUNTY CONDOMINIUM
SUBDIVISION PLAN NO. 15
EXHIBIT B TO THE MASTER DEED OF
CREEKSIDE AT THE WOODLANDS OF KLINGER
WHITE PIGEON TOWNSHIP, ST. JOSEPH COUNTY, MI.

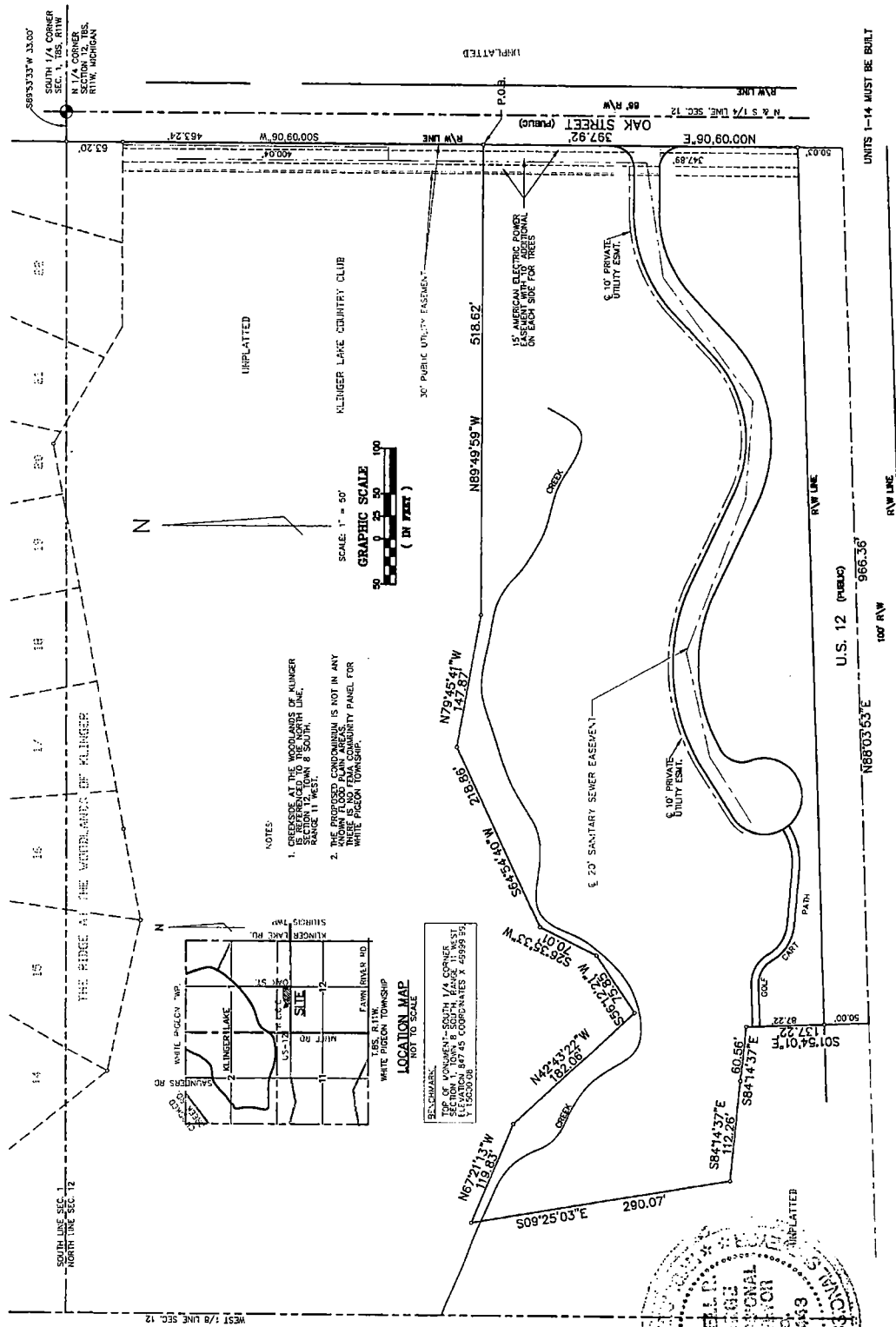
DESCRIPTION:
A PARCEL SITUATED IN SECTION 12, WHITE PIGEON TOWNSHIP, ST. JOSEPH COUNTY,
COMMENCING AT THE NORTH QUARTER POST OF SECTION 12, TOWN 8 SOUTH, RANGE 11
WEST AND RUNNING THENCE SOUTH 89° 53' 33" WEST ALONG THE NORTH LINE OF SAID
SECTION, 3.00 FEET TO THE WEST LINE OF OAK STREET, THENCE SOUTH 00° 00' 00"
WEST ALONG SAID WEST LINE, 16.00 FEET TO A POINT OF BEGINNING; THENCE
DESCRIPTION: THENCE NORTH 89° 43' 57" WEST 81.82 FEET TO A FOUND MONUMENT;
THENCE NORTH 77° 42' 41" WEST 14.27 FEET TO A FOUND IRON BAR, THENCE SOUTH
74.01 FEET TO A FOUND MONUMENT; THENCE SOUTH 16° 12' 24" WEST 16.83 FEET TO A
FOUND MONUMENT; THENCE NORTH 47° 43' 22" WEST 182.28 FEET; THENCE NORTH
67° 21' 19" WEST 110.83 FEET; THENCE SOUTH 09° 35' 20" EAST 250.07 FEET TO A FOUND
MONUMENT; THENCE SOUTH 84° 16' 37" EAST 161.91 FEET; THENCE SOUTH 01° 54' 01"
EAST 131.21 FEET TO THE CENTERLINE OF STATE HIGHWAY US-12; THENCE NORTH
88° 05' 59" EAST ALONG SAID CENTERLINE, 566.38 FEET TO THE SOUTHERLY EXTENSION
OF SAID CENTERLINE; THENCE SOUTH 88° 05' 59" WEST 566.38 FEET TO A POINT OF
BEGINNING, CONTAINING 1.859 ACRES. THE SOUTHERLY 5.000
FEET THEREOF BEING SUBJECT TO USE FOR RIGHT-OF-WAY PURPOSES FOR STATE
HIGHWAY US-12.

DESCRIPTION FOR SANITARY SEWER EASEMENT:
A STRIP OF LAND TO BE USED FOR SANITARY SEWER PURPOSES, SITUATED IN WHITE
PIGEON TOWNSHIP, ST. JOSEPH COUNTY, MICHIGAN, COMMENCING AT THE NORTH
QUARTER POST OF SECTION 12, TOWN 8 SOUTH, RANGE 11 WEST, AND RUNNING
10.00 FEET EITHER SIDE OF THE FOLLOWING DESCRIBED CENTERLINE
COMMENCING AT THE QUARTER POST COMMON TO SECTIONS 1 AND 12, TOWN 8 SOUTH,
RANGE 11 WEST, WHITE PIGEON TOWNSHIP, ST. JOSEPH COUNTY, MICHIGAN AND
RUNNING THENCE SOUTH 89° 53' 33" WEST 16.00 FEET TO A POINT OF BEGINNING;
LINE OF SAID SECTION 12, 121.51 FEET; THENCE NORTH 89° 50' 54" WEST 51.31 FEET TO
POINT A AND BEGINNING OF THIS CENTERLINE DESCRIPTION, THENCE SOUTH 89° 53' 33"
WEST 74.21 FEET; THENCE SOUTH 47° 43' 22" WEST 182.28 FEET TO A POINT OF BEGINNING
AND BEGINNING OF THIS CENTERLINE DESCRIPTION; THENCE SOUTH 81° 42' 19" WEST
172.79 FEET; THENCE SOUTH 83° 42' 20" WEST 168.67 FEET; THENCE NORTH 85° 48' 20"
WEST 172.79 FEET; THENCE SOUTH 81° 42' 19" WEST 172.79 FEET; THENCE SOUTH 81° 42' 19"
WEST 172.79 FEET; THENCE SOUTH 83° 42' 20" WEST 168.67 FEET TO THE PLACE
OF ENDING OF THIS CENTERLINE DESCRIPTION.

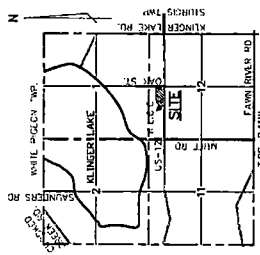
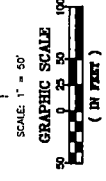
REPLAT NO. 1
 CREEKSIDE AT THE WOODLANDS OF KLINGER
 PROPOSED DATE: JANUARY 30, 2015



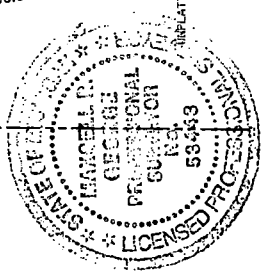
OAKWOOD LAND CORPORATION
 WHITE PIGEON TOWNSHIP, ST JOSEPH COUNTY, MICHIGAN
 SURVEY PLAN



- NOTES:
1. CREEKSIDE AT THE WOODLANDS OF KLINGER SECTION 12, TOWN 8 SOUTH, RANGE 11 WEST.
 2. THE PROPOSED CONDOMINIUM IS NOT IN ANY OTHER SECTION 12, TOWN 8 SOUTH, RANGE 11 WEST.

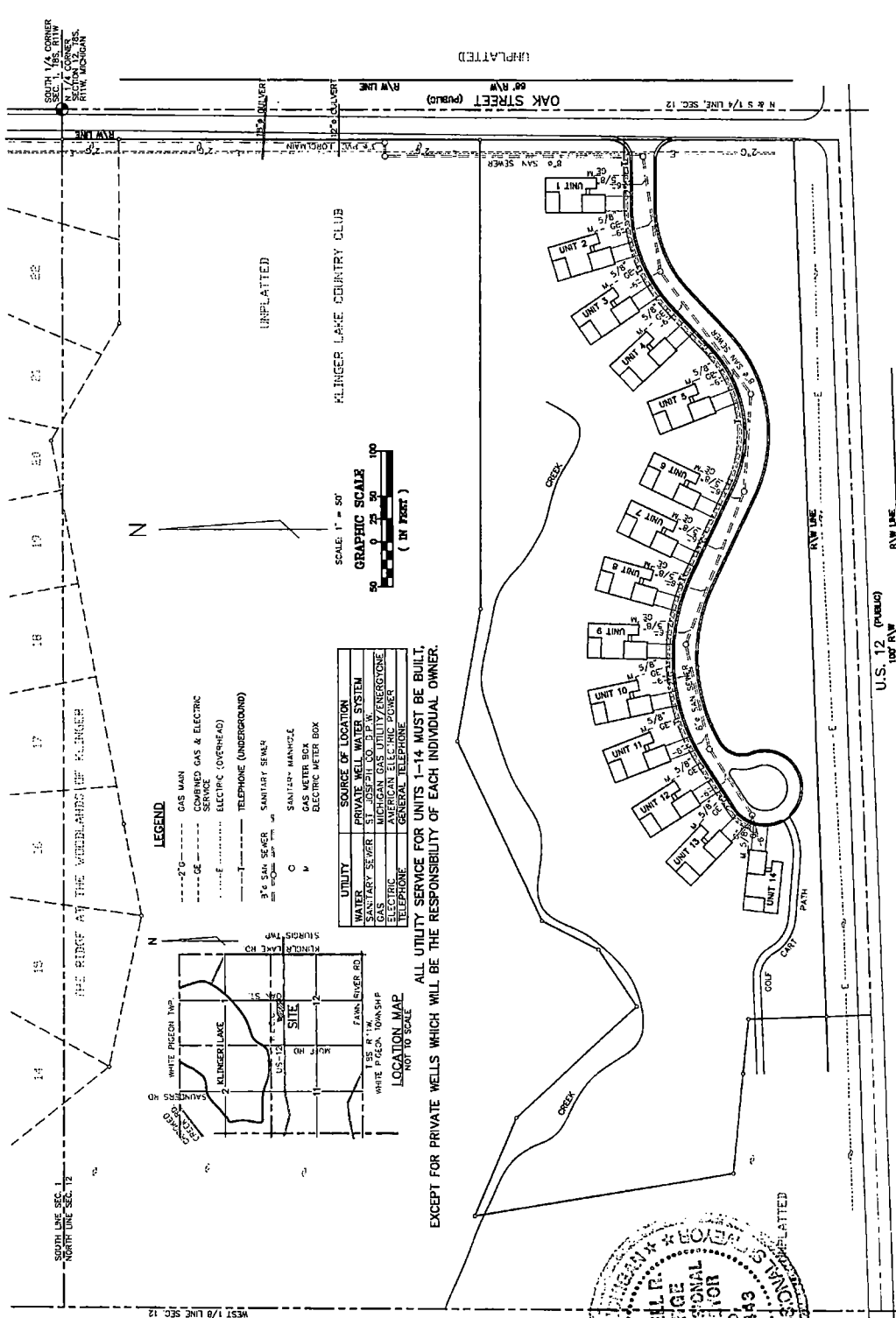


SECTION 12, TOWN 8 SOUTH, RANGE 11 WEST
 TOP OF MONUMENT - SOUTH 1/4 CORNER
 ELEVATION 847.45' COORDINATES X 45939.372
 Y 15520.006



Mance & George 3/3/15

UNITS 1-14 MUST BE BUILT

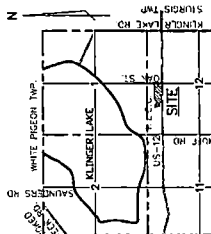


LEGEND

- 2" GAS MAIN
- 4" COMBINED GAS & ELECTRIC SERVICE
- 4" ELECTRIC (OVERHEAD)
- 4" ELECTRIC (UNDERGROUND)
- 3" SANITARY SEWER
- 3" SANITARY SEWER
- SANITARY MANHOLE
- GAS METER BOX
- ELECTRIC METER BOX

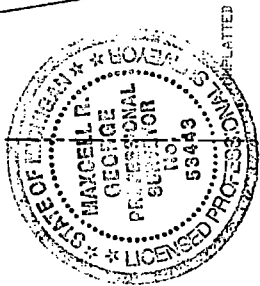
UTILITY	SOURCE OF LOCATION
WATER	PRIVATE WATER SYSTEM
SANITARY SEWER	ST. JOSEPH TWP. S.W.
GAS	MICHIGAN GAS UTILITY/ENERGYONE
ELECTRIC	MICHIGAN GAS UTILITY/ENERGYONE
TELEPHONE	AMERICAN ELECTRIC POWER GENERAL TELEPHONE

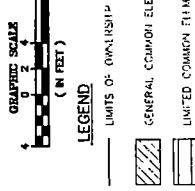
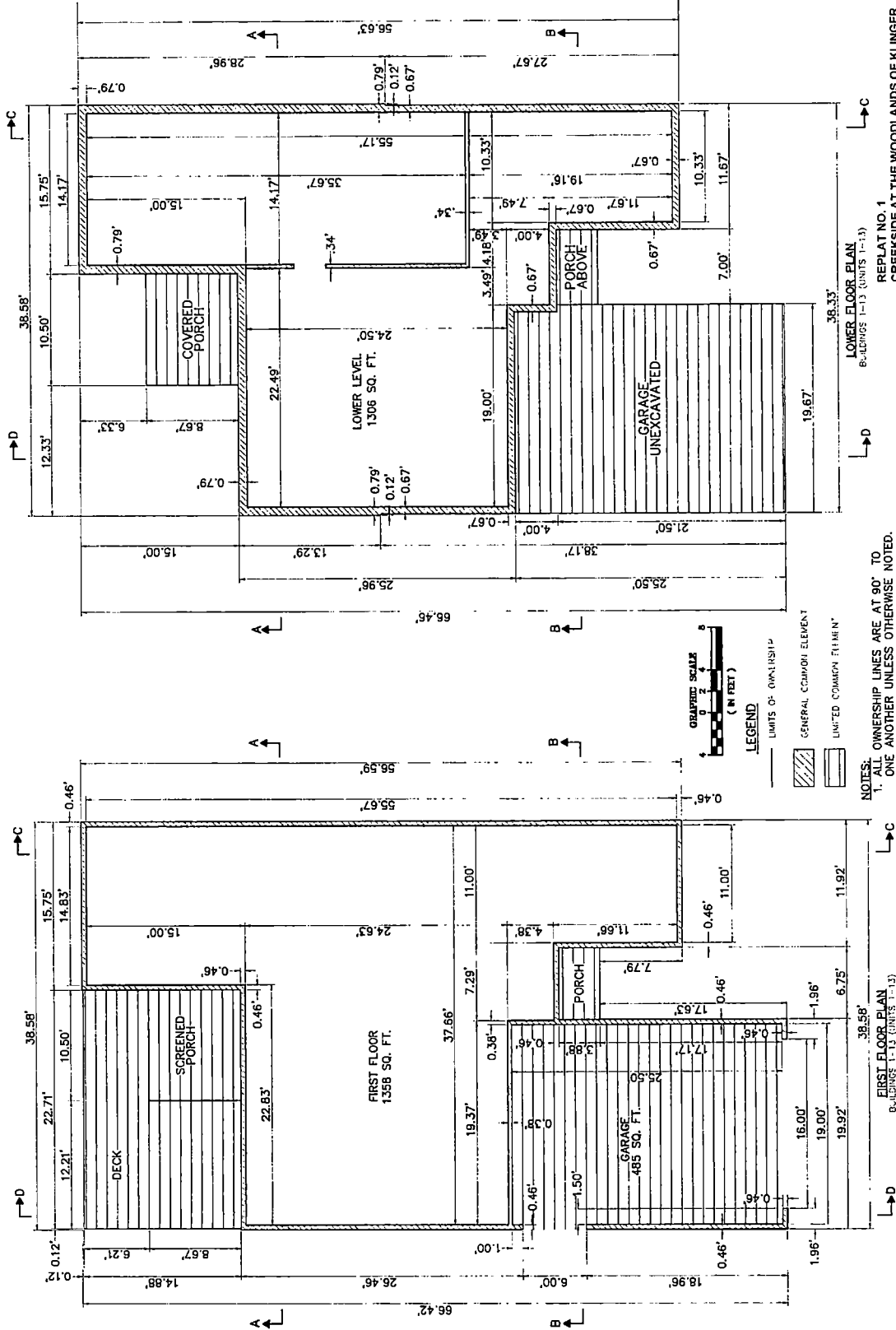
ALL UTILITY SERVICE FOR UNITS 1-14 MUST BE BUILT, EXCEPT FOR PRIVATE WELLS WHICH WILL BE THE RESPONSIBILITY OF EACH INDIVIDUAL OWNER.



REPLAT NO. 1
 CREEKSIDE AT THE WOODLANDS OF KLINGER
 PROPOSED DATE: JANUARY 30, 2015

Manuel R. George 3/3/15



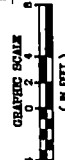
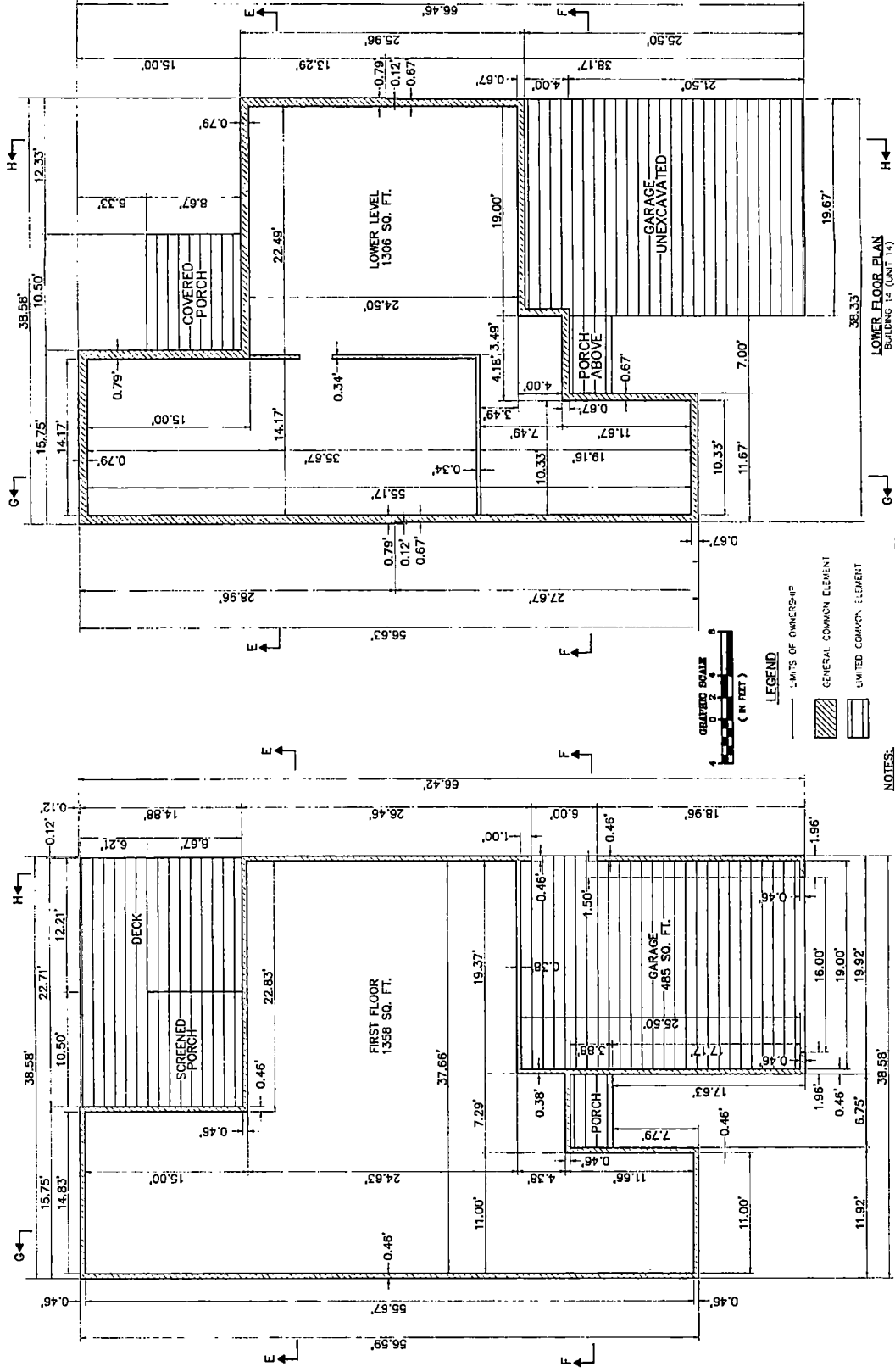


LOWER FLOOR PLAN
 1306 SQ. FT.
 GARAGE UNEXCAVATED
 COVERED PORCH

FIRST FLOOR PLAN
 1358 SQ. FT.
 GARAGE 485 SQ. FT.
 SCREENED PORCH
 DECK
 PORCH

NOTES:
 1. ALL OWNERSHIP LINES ARE AT 90° TO BOUNDARIES 1-13 (UNITS 1-13).
 2. ONE ANOTHER UNLESS OTHERWISE NOTED.
 UNITS 1-14 MUST BE BUILT

PROPOSED DATE: JANUARY 30, 2015



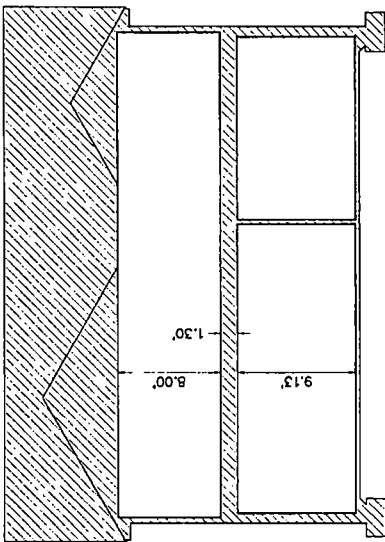
LEGEND
 - UNITS OF OWNERSHIP
 - GENERAL COMMON ELEMENT
 - LIMITED COMMON ELEMENT

NOTES:
 ALL OWNERSHIP LINES ARE AT 90° TO EACH OTHER UNLESS OTHERWISE NOTED.
 1. ONE ANOTHER UNLESS OTHERWISE NOTED.
 UNITS 1-14 MUST BE BUILT

LOWER FLOOR PLAN
 BUILDING 14 (UNIT 14)

LOWER FLOOR PLAN
 BUILDING 14 (UNIT 14)

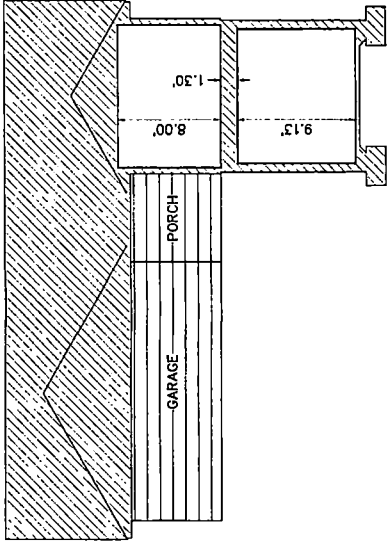
REPLAT NO. 1
CREEKSIDE AT THE WOODLANDS OF KLINGER
PROPOSED DATE: JANUARY 30, 2015



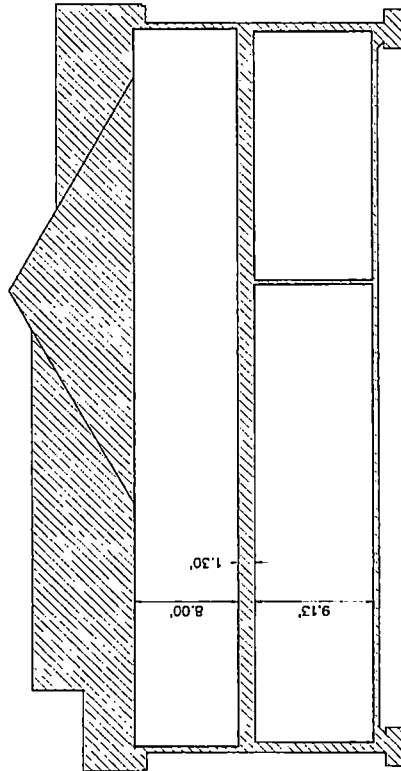
LONGITUDINAL SECTION A-A
BUILDINGS 1-13 (UNITS 1-13)

FIRST FLOOR ELEVATION
U.S.G.S. DATUM

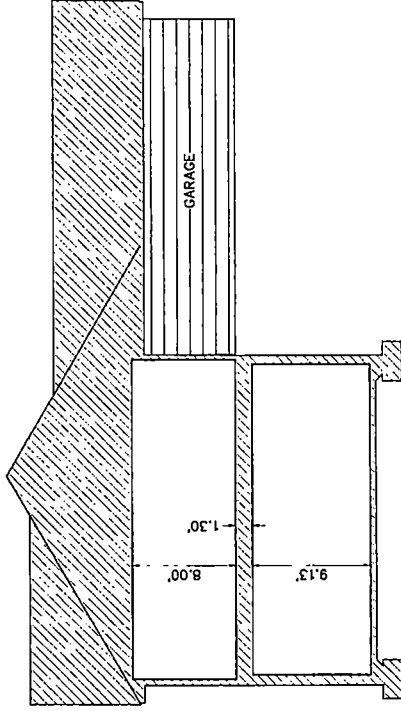
BUILDING UNIT	ELEVATION
1	843.00
2	844.00
3	847.00
4	849.00
5	850.00
6	850.00
7	850.50
8	851.00
9	851.00
10	851.00
11	850.50
12	850.00
13	850.00



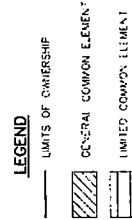
LONGITUDINAL SECTION B-B
BUILDINGS 1-13 (UNITS 1-13)



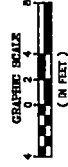
CROSS SECTION C-C
BUILDINGS 1-13 (UNITS 1-13)



CROSS SECTION D-D
BUILDINGS 1-13 (UNITS 1-13)



NOTES:
1. ALL OWNERSHIP LINES ARE AT 90° TO ONE ANOTHER UNLESS OTHERWISE NOTED.



UNITS 1-14 MUST BE BUILT

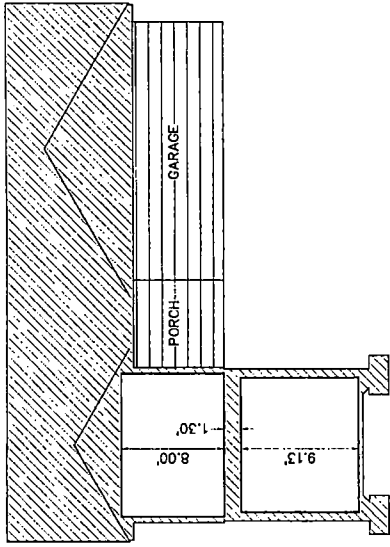
REPLAT NO. 1
CREEKSIDE AT THE WOODLANDS OF KLINGER
PROPOSED DATE: JANUARY 30, 2015

FLEISCHMANN
DESIGN GROUP
ARCHITECTS

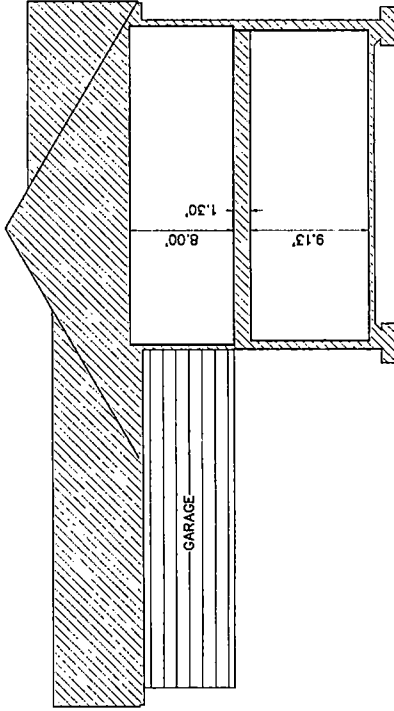
10755 Corporate Center
Suite 200
Dallas, TX 75243-1075
Tel: 972.444.1000
Fax: 972.444.1001

OAKWOOD LAND CORPORATION
SECTION 12, TOWN 8 SOUTH, RANGE 14 WEST
WHITE PIGEON TOWNSHIP, ST. JOSEPH COUNTY, MICHIGAN
LONGITUDINALS & CROSS SECTIONS (UNITS 1-13)

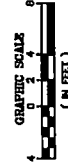
JULY 2014
REVISED
DATE: 11/11/2015



LONGITUDINAL SECTION E-E
 BUILDING 14 - UNIT 14



CROSS SECTION H-H
 BUILDING 14 - UNIT 14



UNITS 1-14 MUST BE BUILT

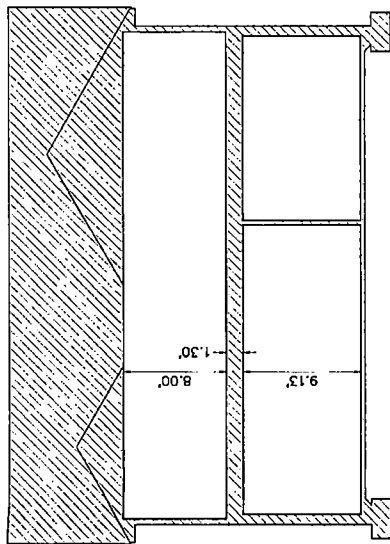
REPLAT NO. 1
 CREEKSIDE AT THE WOODLANDS OF KLINGER
 PROPOSED DATE: JANUARY 30, 2015

FIRST FLOOR ELEVATION
 U.S.G.S. DATUM

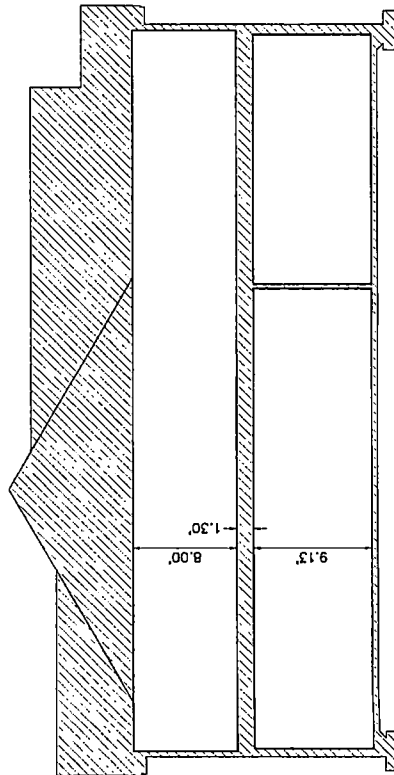
BUILDING NO.	UNIT NO.	ELEVATION
12	14	650.00

LEGEND

- LIMITS OF OWNERSHIP
- ▨ GENERAL COMMON ELEMENT
- ▤ LIMITED COMMON ELEMENT



LONGITUDINAL SECTION E-E
 BUILDING 14 - UNIT 14



CROSS SECTION G-G
 BUILDING 14 - UNIT 14

NOTES:
 1. ALL OWNERSHIP LINES ARE AT 90° TO ONE ANOTHER UNLESS OTHERWISE NOTED.